## AGENDA

## ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> January 9, 2018 <br> 5:00 PM

## ACTION ITEMS

1. SP2017-041 (David)

Discuss and consider a request by David Naylor of Rayburn Country Electric Cooperative for the approval of a site plan for an addition to an existing facility on an 18.875-acre tract of land identified as Lots 1 , 2 \& 3, Block A, Rayburn Country Addition and a portion of Tract 3-13 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 950 \& 980 Sids Road, and take any action necessary.
2. SP2017-042 (David)

Discuss and consider a request by Bob Leimberg of Clayco Construction on behalf of Alan Yu of Lollicup USA, Inc. for the approval of a site plan for a manufacturing facility on a 34.23-acre tract of land identified as a portion of Lot 1, Block A, Rockwall, Technology Park, Phase 2 and Tract 2-01 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southeast corner of the intersection of Corporate Crossing [FM-3549] and Capital Boulevard, situated within the FM-549 Overlay (FM-549 OV) District, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $5^{\text {th }}$ day of January, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

# ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> January 30, 2018 <br> 5:00 PM 

## ACTION ITEMS

1. SP2018-001 (Korey)

Discuss and consider a request by Larae Tucker of Verdad Real Estate for the approval of a site plan for a retail store with gasoline sales on a 1.67-acre tract of land identified as Tract 11-1 of the W. B. Bowles Survey, Abstract No. 12, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 48 (PD-48) for General Retail (GR) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, situatued west of the intersection of W. Rusk Street [SH-66] and N. Lakeshore Drive, and take any action necessary.
2. SP2018-002 (David)

Discuss and consider a request by Matthew Peterson of D. B. Contractors, Inc. on behalf of Jeff Fleming of J. R. Investments, LLC for the approval of a manufacturing facility on an 11.155-acre parcel of land identified as a portion of Lot 6 and all of Lot 7, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southwest corner of the intersection of Innovation Drive and Observation Trail, and take any action necessary.

## 3. SP2018-003 (David)

Discuss and consider a request by Eddie Bond of Groundbreakers, LLC on behalf of Jerry Kissick of Jerry Kissick Custom Homes for the approval of a site plan for a retail center on a 2.113-acre tract of land identified as Lot 6, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located at the northwest corner of the intersection of Ranch Trail Road and Horizon Road [FM3097], and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $26^{\text {th }}$ day of January, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

## ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> February 13, 2018 <br> 5:00 PM

## ACTION ITEMS

1. SP2018-001 (Korey)

Discuss and consider a request by Larae Tucker of Verdad Real Estate for the approval of a site plan for a retail store with gasoline sales on a 1.67-acre tract of land identified as Tract 11-1 of the W. B. Bowles Survey, Abstract No. 12, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 48 (PD-48) for General Retail (GR) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, situatued west of the intersection of W. Rusk Street [SH-66] and N. Lakeshore Drive, and take any action necessary.
2. SP2018-003 (David)

Discuss and consider a request by Eddie Bond of Groundbreakers, LLC on behalf of Jerry Kissick of Jerry Kissick Custom Homes for the approval of a site plan for a retail center on a 2.113-acre tract of land identified as Lot 6, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located at the northwest corner of the intersection of Ranch Trail Road and Horizon Road [FM3097], and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $9^{\text {th }}$ day of February, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

# ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> February 27, 2018 <br> 5:00 PM 

## ACTION ITEMS

1. SP2018-001 (Korey)

Discuss and consider a request by Larae Tucker of Verdad Real Estate for the approval of a gateway sign on a 1.67-acre tract of land identified as Tract $11-1$ of the W. B. Bowles Survey, Abstract No. 12, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 48 (PD-48) for General Retail (GR) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, situatued west of the intersection of W. Rusk Street [SH-66] and N. Lakeshore Drive, and take any action necessary.
2. SP2018-005 (David)

Discuss and consider a request by Crystal Vasquez of Huckabee on behalf Will Salee of the Rockwall Independent School District for the approval of a site plan for a school on a 6.983-acre parcel of land identified as Lot 1, Block A, Rockwall School Addition \#2, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 615 Highland Drive, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $23^{\text {rd }}$ day of February, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

## ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> March 13, 2018 <br> 5:00 PM

## ACTION ITEMS

1. SP2013-006 (Korey)

Discuss and consider a request by Jay Woo of JNF Associates for the approval of amended building elevations for an existing 10,525-SF building situated on a 1.364 -acre parcel of land identified as Lot 15 , Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as $568 \mathrm{EIH}-30$, and take any action necessary.
2. SP2018-001 (Korey) [Tabled March 27, 2018]

Discuss and consider a request by Larae Tucker of Verdad Real Estate for the approval of a gateway sign on a 1.67-acre tract of land identified as Tract $11-1$ of the W. B. Bowles Survey, Abstract No. 12, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 48 (PD-48) for General Retail (GR) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, situatued west of the intersection of W. Rusk Street [SH-66] and N. Lakeshore Drive, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $9^{\text {th }}$ day of March, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

## ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> March 27, 2018 <br> 5:00 PM

## ACTION ITEMS

1. SP2018-001 (Korey)

Discuss and consider a request by Larae Tucker of Verdad Real Estate for the approval of a gateway sign on a 1.67-acre tract of land identified as Tract $11-1$ of the W. B. Bowles Survey, Abstract No. 12, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 48 (PD-48) for General Retail (GR) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, situatued west of the intersection of W. Rusk Street [SH-66] and N. Lakeshore Drive, and take any action necessary.
2. SP2018-007 (Korey)

Discuss and consider a request by Worth Williams of Moore Worth Investment, LLC for the approval of a site plan for a restaurant with drive-through facilities on a 0.81-acre parcel of land identified as Lot 3, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1945 N. Goliad Street, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $23^{\text {rd }}$ day of March, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

## ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> April 10, 2018 <br> 5:00 PM

## ACTION ITEMS

## 1. SP2018-007 (Korey)

Discuss and consider a request by Worth Williams of Moore Worth Investment, LLC for the approval of a site plan for a restaurant with drive-through facilities on a 0.81 -acre parcel of land identified as Lot 3 , Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1945 N. Goliad Street, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Korey Brooks, Planning \& Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $6^{\text {th }}$ day of April, 2018, by 5:00 p.m., and remained so posted for at least 72
continuous hours preceding the scheduled time of said meeting.

## AGENDA

## ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> April 24, 2018 <br> 5:00 PM

## ACTION ITEMS

1. SP2018-008 (Korey)

Discuss and consider a request by Worth Williams of Moore Worth Investment, LLC for the approval of a site plan for a restaurant on a 0.778 -acre parcel of land identified as Lot 4, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1901 N. Goliad Street, and take any action necessary.
2. SP2018-009 (David)

Discuss and consider a request by Scott Roberts of Creative Architects on behalf of Adam Cunningham of Patriot Paws for site plan for a Residential Care Facility on a 3.466-acre parcel of land identified as Lot 1, Block A, Patriot Paws Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 302 Ranch Trail, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Korey Brooks, Planner for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $20^{\text {th }}$ day of April, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

## ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room <br> May 8, 2018 <br> 5:00 PM

## ACTION ITEMS

1. SP2018-008 (Korey)

Discuss and consider a request by Worth Williams of Moore Worth Investment, LLC for the approval of a site plan for a restaurant on a 0.778-acre parcel of land identified as Lot 4, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1901 N. Goliad Street, and take any action necessary.
2. SP2018-009 (David)

Discuss and consider a request by Scott Roberts of Creative Architects on behalf of Adam Cunningham of Patriot Paws for site plan for a Residential Care Facility on a 3.466-acre parcel of land identified as Lot 1, Block A, Patriot Paws Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 302 Ranch Trail, and take any action necessary.
3. SP2018-011 (David)

Discuss and consider a request by Bob Leimberg of Clayco Construction on behalf of Alan Yu of Lollicup USA, Inc. for the approval of an amended site plan for a manufacturing facility on a 34.23-acre tract of land identified as a portion of Lot 1, Block A, Rockwall, Technology Park, Phase 2 and Tract 2-01 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southeast corner of the intersection of Corporate Crossing [FM-3549] and Capital Boulevard, situated within the FM-549 Overlay (FM-549 OV) District, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Korey Brooks, Planner for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $4^{\text {th }}$ day of May, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

# ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room May 29, 2018 5:00 PM 

## ACTION ITEMS

1. SP2018-012 (David)

Discuss and consider a request by Chris Allen of D. L. Marketplace Partners, LLC on behalf of Rob Cameron of Cameron \& Cameron for the approval of a site plan for a memory care facility on a 2.0896-acre portion of a larger 12.40-acre tract of land identified as Tract 8 of the B. J. T. Lewis, Abstract No. 255, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 86 (PD-86) for Multi-Family 14 (MF-14) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located south of the intersection of TL Townsend Drive and Justin Road, and take any action necessary.

## 2. SP2018-013 (David)

Discuss and consider a request by Bart Tinsley of Adlers Rockwall SIL Property, LLC on behalf of Rob Cameron of Cameron \& Cameron for the approval of a site plan for a multi-family apartment complex on a 10.3103 -acre portion of a larger 12.40-acre tract of land identified as Tract 8 of the B. J. T. Lewis, Abstract No. 255, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 86 (PD-86) for MultiFamily 14 (MF-14) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located south of the intersection of TL Townsend Drive and Justin Road, and take any action necessary.
3. SP2018-014 (Korey)

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf of Jeff Johnston of Woodhill Dental for the approval of a site plan for a medical office building on a 0.85-acre parcel of land identified as Lot 12, Block 2, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 149 H . Wallace Lane, and take any action necessary.
4. SP2018-015 (Korey)

Discuss and consider a request by Matilyn Vivo of Rustic Warehouse for the approval of a site plan to allow changes to the exterior of an existing commercial/retail building on a 1.9175-acre parcel of land identified as Tract 2 of the B. J. T. Lewis Survey, Abstract No. 255, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1411 S. Goliad Street [SH-205], and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $25^{\text {th }}$ day of May, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

# ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room <br> June 12, 2018 <br> 5:00 PM 

## CALL TO ORDER

## ACTION ITEMS

1. SP2018-012 (David)

Discuss and consider a request by Chris Allen of D. L. Marketplace Partners, LLC on behalf of Rob Cameron of Cameron \& Cameron for the approval of a site plan for a memory care facility on a 2.0896-acre portion of a larger 12.40-acre tract of land identified as Tract 8 of the B. J. T. Lewis, Abstract No. 255, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 86 (PD-86) for Multi-Family 14 (MF-14) District land uses, situated within the $\mathrm{SH}-205$ Overlay ( $\mathrm{SH}-205 \mathrm{OV}$ ) District, generally located south of the intersection of TL Townsend Drive and Justin Road, and take any action necessary.

## 2. SP2018-013 (David)

Discuss and consider a request by Bart Tinsley of Adlers Rockwall SIL Property, LLC on behalf of Rob Cameron of Cameron \& Cameron for the approval of a site plan for a multi-family apartment complex on a 10.3103 -acre portion of a larger 12.40-acre tract of land identified as Tract 8 of the B. J. T. Lewis, Abstract No. 255, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 86 (PD-86) for MultiFamily 14 (MF-14) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located south of the intersection of TL Townsend Drive and Justin Road, and take any action necessary.
3. SP2018-014 (Korey)

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf of Jeff Johnston of Woodhill Dental for the approval of a site plan for a medical office building on a 0.85-acre parcel of land identified as Lot 12, Block 2, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 149 H . Wallace Lane, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $8^{\text {th }}$ day of June, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

# ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> July 10, 2018 <br> 5:00 PM 

## CALL TO ORDER

## ACTION ITEMS

1. Election of a Chair and Vice Chair (Ryan)

Discuss and consider the election of a chair and vice chair in accordance Section 13.4, Officers, of Article II, Authority and Administrative Procedures, of the Unified Development Code, and take any action necessary.
2. SP2018-016 (David)

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf of Clay Shipman for the approval of a site plan for an office building on a 1.28-acre parcel of land identified as Lot 3, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located on La Jolla Pointe drive northeast of the intersection La Jolla Pointe Drive and Laguna Drive, and take any action necessary.
3. SP2018-017 (Ryan) [TABLED: JULY 31, 2018]

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Phillip McNeill of Summer Lee Rockwall, LLC for the approval of a site plan for a hotel on a 2.12-acre tract of land identified as portions of Lot 2A, Isaac Brown Addition and Lot 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District and the Interior and Residential Subdistricts of Planned Development District 32 (PD-32), located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $6^{\text {th }}$ day of July, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

# ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room July 31, 2018 <br> 5:00 PM 

## CALL TO ORDER

## ACTION ITEMS

1. SP2018-017 (Ryan)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Phillip McNeill of Summer Lee Rockwall, LLC for the approval of a site plan for a hotel on a 2.12-acre tract of land identified as portions of Lot 2A, Isaac Brown Addition and Lot 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District and the Interior and Residential Subdistricts of Planned Development District 32 (PD-32), located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.
2. SP2018-019 (David)

Discuss and consider a request by Brad Williams of Winstead PC on behalf of Andrew Malzer of Mountain Prize, Inc. for the approval of an amended site plan for a retail store with gasoline sales on a 2.46 -acre parcel of land identified as Lots $1 \& 2$ of the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane, and take any action necessary.

## 3. SP2018-020 (Korey)

Discuss and consider a request by Randall Eardley of Wier \& Associates, Inc. on behalf of Getra ThomasonSanders of Chick-Fil-A, Inc. for the approval of a site plan for a Restaurant, 2,000 SF or More with Drive Through on a 1.40 -acre parcel of land identified as Lot 2, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1979 N. Goliad Street, and take any action necessary.
4. SP2018-021 (Korey)

Discuss and consider a request by Ellis Little of Ellis Little Masix Construction, LLC on behalf of David Johnston of the Lofland Farms Estates Homeowner's Association (HOA) for the approval of a site plan for an amenities center on a 1.0521-acre parcel of land identified as Lot 22, Block B, Lofland Farms, Phase 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 45 (PD-45) for Single-Family 10 (SF-10) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2400 Wagon Wheel Drive, and take any action necessary.
5. SP2018-015 (Korey)

Discuss and consider a request by Matilyn Vivo of Rustic Warehouse for the approval of a site plan to allow changes to the exterior of an existing commercial/retail building on a 1.9175-acre parcel of land identified as Tract 2 of the B. J. T. Lewis Survey, Abstract No. 255, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1411 S. Goliad Street [SH-205], and take any action necessary.
6. SP2018-023 (David)

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a hotel on a 1.954-acre tract of land identified as a portion of Lots 7 \& 8, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.
7. SP2018-024 (David)

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a medical office building on a 1.003-acre tract of land identified as a portion of Lot 6, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.
8. SP2018-025 (David)

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a office building on a 1.080-acre tract of land identified as a portion of Lots 6 \& 7, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.
9. SP2018-026 (Korey)

Discuss and consider a request by Young Chung of on behalf of Francisco Cardoso for the approval of an amended site plan for an office building on a 0.45 -acre tract of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

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## AGENDA

# ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room <br> August 14, 2018 <br> 5:00 PM 

## CALL TO ORDER

## ACTION ITEMS

1. Election of a Chair and Vice Chair (Ryan)

Discuss and consider the election of a chair and vice chair in accordance Section 13.4, Officers, of Article II, Authority and Administrative Procedures, of the Unified Development Code, and take any action necessary.
2. SP2018-017 (Ryan)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Phillip McNeill of Summer Lee Rockwall, LLC for the approval of a site plan for a hotel on a 2.12-acre tract of land identified as portions of Lot 2A, Isaac Brown Addition and Lot 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District and the Interior and Residential Subdistricts of Planned Development District 32 (PD-32), located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.
3. SP2018-020 (Korey)

Discuss and consider a request by Randall Eardley of Wier \& Associates, Inc. on behalf of Getra ThomasonSanders of Chick-Fil-A, Inc. for the approval of a site plan for a Restaurant, 2,000 SF or More with Drive Through on a 1.40 -acre parcel of land identified as Lot 2, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1979 N. Goliad Street, and take any action necessary.
4. SP2018-023 (David)

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a hotel on a 1.954-acre tract of land identified as a portion of Lots 7 \& 8, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.
5. SP2018-024 (David)

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a medical office building on a 1.003-acre tract of land identified as a portion of Lot 6, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.
6. SP2018-025 (David)

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a office building on a 1.080 -acre tract of land identified as a portion of Lots 6 \& 7, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the $\mathrm{IH}-30$ Overlay ( $\mathrm{IH}-30 \mathrm{OV}$ ) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

## ADJOURNMENT

[^1]I, Laura Morales, Planning \& Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $27^{\text {th }}$ day of July, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

# ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> August 28, 2018 <br> 5:00 PM 

## CALL TO ORDER

## ACTION ITEMS

1. SP2018-017 (Ryan)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Phillip McNeill of Summer Lee Rockwall, LLC for the approval of a site plan for a hotel on a 2.12-acre tract of land identified as portions of Lot 2A, Isaac Brown Addition and Lot 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District and the Interior, Horizon/Summer Lee and Residential Subdistricts of Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.
2. SP2018-019 (David) [Postponed Until September 11, 2018]

Discuss and consider a request by Brad Williams of Winstead PC on behalf of Andrew Malzer of Mountain Prize, Inc. for the approval of an amended site plan for a retail store with gasoline sales on a 2.46-acre parcel of land identified as Lots 1 \& 2 of the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane, and take any action necessary.
3. SP2018-023 (David) [Postponed Until September 11, 2018]

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a hotel on a 2.111-acre tract of land identified as a portion of Lots 7 \& 8, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $24^{\text {th }}$ day of August, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

# ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> September 11, 2018 <br> 5:00 PM 

## CALL TO ORDER

## ACTION ITEMS

1. SP2018-017 (Ryan)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Phillip McNeill of Summer Lee Rockwall, LLC for the approval of a site plan for a hotel on a 2.12-acre tract of land identified as portions of Lot 2A, Isaac Brown Addition and Lot 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District and the Interior, Horizon/Summer Lee and Residential Subdistricts of Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.
2. SP2018-019 (David) [Postponed Until September 25, 2018]

Discuss and consider a request by Brad Williams of Winstead PC on behalf of Andrew Malzer of Mountain Prize, Inc. for the approval of an amended site plan for a retail store with gasoline sales on a 2.46-acre parcel of land identified as Lots 1 \& 2 of the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane, and take any action necessary.
3. SP2018-023 (David) [Postponed Until September 25, 2018]

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a hotel on a 2.111-acre tract of land identified as a portion of Lots 7 \& 8, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $7^{\text {th }}$ day of September, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

# ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> September 25, 2018 <br> 5:00 PM 

## CALL TO ORDER

## ACTION ITEMS

1. SP2018-019 (David)

Discuss and consider a request by Brad Williams of Winstead PC on behalf of Andrew Malzer of Mountain Prize, Inc. for the approval of an amended site plan for a retail store with gasoline sales on a 2.46-acre parcel of land identified as Lots 1 \& 2 of the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane, and take any action necessary.
2. SP2018-023 (David)

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a hotel on a 2.111-acre tract of land identified as a portion of Lots 7 \& 8, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.
3. SP2018-028 (Korey)

Discuss and consider a request by Debora Allegranti of CBOCS Texas, LLC on behalf of Eric Borkenhagen of Kohls Illinois, Inc. for the approval of a site plan for a restaurant on a 1.61-acre portion of a larger 9.0142-acre parcel of land identified as Lot 1, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated west of the intersection of Mims Road and the frontage road for E. IH-30, and take any action necessary.
4. SP2018-029 (Korey)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Tom Kirkland of TEKMAK Development Company for the approval of a site plan for a residence hotel on a 2.8-acre tract of land being a portion of a larger 8.613-acre tract of land Tract 4 of the J. D. McFarland Survey, Abstract No. 145, and Lot 1, Block B, Goldencrest Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the $\mathrm{IH}-30$ Overlay ( $\mathrm{IH}-30 \mathrm{OV}$ ) District, situated north of the intersection of Greencrest Boulevard and the $\mathrm{IH}-30$ Frontage Road, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $21^{\text {st }}$ day of September, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

# ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> October 9, 2018 <br> 5:00 PM 

## CALL TO ORDER

## ACTION ITEMS

1. SP2018-028 (Korey)

Discuss and consider a request by Debora Allegranti of CBOCS Texas, LLC on behalf of Eric Borkenhagen of Kohls Illinois, Inc. for the approval of a site plan for a restaurant on a 1.61-acre portion of a larger 9.0142-acre parcel of land identified as Lot 1, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the $\mathrm{IH}-30$ Overlay ( $\mathrm{IH}-30 \mathrm{OV}$ ) District, situated west of the intersection of Mims Road and the frontage road for E . $\mathrm{IH}-30$, and take any action necessary.
2. SP2018-029 (Korey)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Tom Kirkland of TEKMAK Development Company for the approval of a site plan for a residence hotel on a 2.8 -acre tract of land being a portion of a larger 8.613 -acre tract of land Tract 4 of the J. D. McFarland Survey, Abstract No. 145, and Lot 1, Block B, Goldencrest Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the $\mathrm{IH}-30$ Overlay ( $\mathrm{IH}-30 \mathrm{OV}$ ) District, situated north of the intersection of Greencrest Boulevard and the IH-30 Frontage Road, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $5^{\text {th }}$ day of October, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

# ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> October 30, 2018 <br> 5:00 PM 

## CALL TO ORDER

## ACTION ITEMS

1. SP2018-029 (Korey)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Tom Kirkland of TEKMAK Development Company for the approval of a site plan for a residence hotel on a 2.8 -acre tract of land being a portion of a larger 8.613 -acre tract of land Tract 4 of the J. D. McFarland Survey, Abstract No. 145, and Lot 1, Block B, Goldencrest Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the $\mathrm{IH}-30$ Overlay ( $\mathrm{IH}-30 \mathrm{OV}$ ) District, situated north of the intersection of Greencrest Boulevard and the IH-30 Frontage Road, and take any action necessary.
2. SP2018-030 (Korey)

Discuss and consider a request by John David of Express Oil Change, LLC for the approval of a site plan for a Minor Auto Repair Garage (i.e. Brakes Plus) on a 0.656 -acre tract of land being identified as Lots $1 \& 2$, Block A, Billy Peoples \#1 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1902 \& 2000 S. Goliad Street [SH-205], and take any action necessary.
3. SP2018-031 (Korey)

Discuss and consider a request by Brandon Waldrum of CEI Engineering Associates, Inc. on behalf of Kelly Cannell of Murphy Road, LTD for the approval of a site plan for a carwash in conjunction with an existing retail store with gasoline sales (i.e. 7/11) on a 0.996 -acre tract of land being identified as a portion of Lot 2 and all of Lot 1, Block B, Horizon Ridge Center Addition, City of Rockwall, Rockwall, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3520 Horizon Road [FM-3097], and take any action necessary.

## 4. SP2018-032 (David)

Discuss and consider a request by William Salee of the Rockwall Independent School District (RISD) for the approval of a site plan for an Elementary School on a 17.2922-acre tract of land being identified as Lot 1, Block A, RISD Elementary School Addition and Tract 2-7 of the W. T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall, Texas, zoned Planned Development District 70 (PD-70) for single family land uses, located at the southeast corner of Greenway Boulevard and FM-552, and take any action necessary.
5. SP2018-033 (David)

Discuss and consider a request by Mahbub H. Dewan of D1 Architect \& Associates, Inc. on behalf of Deepak Gandhi of Rockwall Inn Keepers I, LTD for the approval of an amended site plan for a hotel on a 2.681-acre identified as Lot 1, Block A, Hyatt Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the $\mathrm{IH}-30$ Overlay ( $\mathrm{IH}-30 \mathrm{OV}$ ) and Scenic Overlay (SOV) Districts, located at the southeast corner of the intersection of Laguna Drive and La Jolla Pointe Drive, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $27^{\text {th }}$ day of October, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

# ARCHITECTURAL REVIEW BOARD MEETING <br> City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> November 13, 2018 <br> 5:00 PM 

## CALL TO ORDER

## ACTION ITEMS

1. SP2018-030 (Korey)

Discuss and consider a request by John David of Express Oil Change, LLC for the approval of a site plan for a Minor Auto Repair Garage (i.e. Brakes Plus) on a $0.656-$ acre tract of land being identified as Lots $1 \& 2$, Block A, Billy Peoples \#1 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1902 \& 2000 S. Goliad Street [SH-205], and take any action necessary.
2. SP2018-032 (David)

Discuss and consider a request by William Salee of the Rockwall Independent School District (RISD) for the approval of a site plan for an Elementary School on a 17.2922-acre tract of land being identified as Lot 1, Block A, RISD Elementary School Addition and Tract 2-7 of the W. T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall, Texas, zoned Planned Development District 70 (PD-70) for single family land uses, located at the southeast corner of Greenway Boulevard and FM-552, and take any action necessary.
3. Discuss and consider a recommendation concerning the OURHometown Vision 2040 Comprehensive Plan (i.e. 2018 Comprehensive Plan Update) and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $9^{\text {th }}$ day of November, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas<br>Council Chambers Conference Room<br>November 27, 2018<br>5:00 PM

## CALL TO ORDER

## CONSENT AGENDA

1. SP2018-035 (Daniella)

Consider a request by Mike and Sonya West for the approval of a site plan converting an existing singlefamily structure into an office building on a 0.745 -acre parcel of land identified as Lot 3 of the Austin Addition City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for ResidentialOffice (RO) District land uses, situated within the N. Goliad Corridor Overlay (NGC OV) District, addressed as 912 N. Goliad Street [SH-205], and take any action necessary.

## ACTION ITEMS

2. SP2018-036 (Korey)

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf Gari Foote for the approval of a site plan for an office building on a 0.26 -acre portion of a larger one (1) acre tract of land identified as Block 26 of the Garner Addition, zoned Planned Development District 50 (PD-50) for ResidentialOffice (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, located at the northwest corner of the intersection of W. Heath Street and S. Goliad Street [SH-205], and take any action necessary.
3. SP2018-037 (Ryan)

Discuss and consider a request by Russell Phillips of Sterling One for the approval of a site plan for a 265 unit, condo development situated on a 7.58-acre tract of land identified as Lots 6A, 7A \& 8A, Isaac Brown Addition, and a portion of Lots 3 \& 4, Block 16 and Lot 4, Block 18, Moton Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict of PD32, located south of the intersection of Summer Lee Drive and Glen Hill Way, and take any action necessary.
4. SP2018-038 (Ryan)

Discuss and consider a request by Doug Galloway of Cooper General Contractors on behalf of Corey Cannon for the approval of a site plan for a craft brewery on a 1.16-acre parcel of land identified as Lot 1R of the Cain Properties \#1 Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, located north of the intersection of S. Goliad Street [SH-205] and Storrs Street, and take any action necessary.
5. SP2018-039 (David)

Discuss and consider a request by Matt Moore of Claymoore Engineering on behalf of Phil Wagner of Rockwall Economic Development Corporation (REDC) for the approval of a site plan for an industrial building on a 3.634-acre parcel of land identified as Lot 1, Block E, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the northwest corner of the intersection of Technology Way and Observation Trail, and take any action necessary.

## ADJOURNMENT

[^2]
# ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas <br> Council Chambers Conference Room <br> December 11, 2018 <br> 5:00 PM 

## CALL TO ORDER

## ACTION ITEMS

1. SP2018-036 (Korey)

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf Gari Foote for the approval of a site plan for an office building on a 0.26 -acre portion of a larger one (1) acre tract of land identified as Block 26 of the Garner Addition, zoned Planned Development District 50 (PD-50) for ResidentialOffice (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, located at the northwest corner of the intersection of W. Heath Street and S. Goliad Street [SH-205], and take any action necessary.
2. SP2018-037 (Ryan)

Discuss and consider a request by Russell Phillips of Sterling One for the approval of a site plan for a 265 unit, condo development situated on a 7.58 -acre tract of land identified as Lots $6 \mathrm{~A}, 7 \mathrm{~A} \& 8 \mathrm{~A}$, Isaac Brown Addition, and a portion of Lots 3 \& 4, Block 16 and Lot 4, Block 18, Moton Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict of PD32, located south of the intersection of Summer Lee Drive and Glen Hill Way, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $7^{\text {th }}$ day of December, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

## AGENDA

# ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room <br> June 26, 2018 <br> 5:00 PM 

## CALL TO ORDER

## ACTION ITEMS

1. Election of a Chair and Vice Chair (Ryan)

Discuss and consider the election of a chair and vice chair in accordance Section 13.4, Officers, of Article II, Authority and Administrative Procedures, of the Unified Development Code, and take any action necessary.
2. SP2018-014 (Korey)

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf of Jeff Johnston of Woodhill Dental for the approval of a site plan for a medical office building on a 0.85 -acre parcel of land identified as Lot 12, Block 2, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 149 H . Wallace Lane, and take any action necessary.

## 3. SP2018-016 (David)

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf of Clay Shipman for the approval of a site plan for an office building on a 1.28-acre parcel of land identified as Lot 3, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located on La Jolla Pointe drive northeast of the intersection La Jolla Pointe Drive and Laguna Drive, and take any action necessary.
4. SP2018-017 (Ryan)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Phillip McNeill of Summer Lee Rockwall, LLC for the approval of a site plan for a hotel on a 2.12-acre tract of land identified as portions of Lot 2A, Isaac Brown Addition and Lot 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District and the Interior and Residential Subdistricts of Planned Development District 32 (PD-32), located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.
5. SP2018-018 (Ryan)

Discuss and consider a request by David Osborn pf Rack Partners, LTD for the approval of a site plan for an industrial building on a 1.50-acre tract of land identified as Tract 2-16 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 125 National Drive, and take any action necessary.

## ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning \& Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $22^{\text {nd }}$ day of June, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO 

AGENDA DATE:
APPLICANT: Wayne Mershawn; Mershawn Architects
AGENDA ITEM: SP2018-014; Woodhill Dental

## SUMMARY:

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf of Jeff Johnston of Woodhill Dental for the approval of a site plan for a medical office building on a 0.85 -acre parcel of land identified as Lot 12, Block 2, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 149 H . Wallace Lane, and take any action necessary.

## PURPOSE AND BACKGROUND:

The applicant is requesting approval of a site plan for a dentist office [i.e. Woodhill Dental]. The proposed dentist office will be situated on a 0.85-acre tract of land [i.e. Lot 12, Block 2, Alliance Addition]. The subject property is zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses and is addressed as 149 H . Wallace Lane.

On August 16, 2004, the City Council adopted Ordinance No. 04-48, establishing the development requirements for Planned Development District 57 (PD-57), which allows a medical office building by-right. As a condition of approval, each building throughout the development shall be constructed with a consistent design scheme and materials approved by the Architectural Review Board (ARB). In this case, the building materials are consistent with the other buildings in the development [e.g. Alliance III, Alliance V, and Alliance VI], however, those buildings are constructed utilizing a green metal pitched roof system. Since the proposed dental office is larger than $6,000 \mathrm{SF}$, the building is not required to be constructed of a pitched roof system according to Planned Development 57 (PD-57), however, this building will be the only building in the development that utilizes a flat roof system.

## DENSITY AND DIMENSIONAL REQUIREMENTS:

According to Section 1, Land Use Schedule, of Article IV, Permissible Uses, of the Unified Development Code (UDC), the proposed use [i.e. a medical office building] is permitted by-right in Planned Development District 57 (PD-57). The submitted site plan, landscape plan, photometric plan, and building elevations conform to the technical requirements contained within the Unified Development Code (UDC) with the exception of the items listed in the Variances section of this case memo. A summary of the density and dimensional requirements of the subject property is as follows:

| Ordinance Provisions | Zoning District Standards | Conformance to the Standards |
| :--- | :---: | :---: |
| Minimum Lot Area | 10,000 SF | $X-37,312$ SF; In Conformance |
| Minimum Lot frontage | 60 -Feet | $X \sim 120-F e e t ; ~ I n ~ C o n f o r m a n c e ~$ |
| Minimum Lot Depth | 100 -Feet | X-310Feet; In Conformance |
| Minimum Front Yard Setback | 15 -Feet | X~15-Feet; In Conformance |
| Minimum Rear Yard Setback | $10-F e e t$ | $X \sim 15-F e e t ;$ In Conformance |
| Minimum Side Yard Setback | 0 -Feet ${ }^{2}$ | $X \sim 5-F e e t ;$ In Conformance |
| Maximum Building Height | $240-F e e t^{2}$ | $X \sim 20-F e e t ;$ In Conformance |
| Max Building/Lot Coverage | $60 \%$ | $X=17 \%$; In Conformance |
| Minimum Masonry Requirement | $90 \%$ | $X=100 \%$; In Conformance |
| Minimum Number of Parking Spaces | 32 | 32 Provided; In Conformance |
| Minimum Stone Requirement (SH205 OV) | $20 \%$ ea facade | $X<20 \%$; In Conformance |


| Ordinance Provisions | Zoning District Standards | Conformance to the Standards |
| :--- | :---: | :---: |
| Minimum Landscaping Percentage | $15 \%$ | $X=45 \% ;$ In Conformance |
| Maximum Impervious Coverage | $85-90 \%$ | $X=55 \% ;$ In Conformance |

NOTES: 1. With fire retardant wall. 2. Any structure over 60 -feet shall require a Specific Use Permit (SUP).

## VARIANCES:

Based on the applicant's submittal, staff has identified the following variances:
A) General Commercial (C) District Standards.
a. Building Articulation. According to Subsection C.1.A, Horizontal Articulation, of Section 4.1, General Commercial District Standards, of Article V, District Development Standards, of the Unified Development Code (UDC) no building wall shall extend for a distance equal to three (3) times the wall's height without having an offset of $25 \%$ of the wall's height, and that new plane shall extend for a distance equal to at least $25 \%$ of the maximum length of the first plane. In this case, the applicant is not providing any offsets on the north and east elevations (i.e. side elevations).
b. Building Articulation. According to Subsection C.1.B, Vertical Articulation, of Section 4.1 General Commercial District Standards, of Article V, District Development Standards, of the Unified Development Code (UDC) no horizontal wall shall extend for a greater distance than three (3) times the height of the wall without a change in height by a minimum of $25 \%$ (i.e. five (5) feet) of the wall's height. In this case, the applicant is not providing a change in height of the building façade of five (5) feet, however, is providing a change in height of two (2) feet to provide articulation.

All variances will require a simple majority vote of the City Council members present to be approved.

## ARCHITECTURAL REVIEW BOARD

On May 29, 2018 the Architectural Review Board (ARB) reviewed the proposed building elevations and requested that the applicant make revisions to the building elevations to be more consistent with the existing buildings in the development and to provide additional vertical and horizontal articulation on the building façade. The applicant submitted revisions, however, did not provide additional vertical and/or horizontal articulation to the building façades. On June 12, 2018, the ARB was unable to establish a quorum and the Planning and Zoning Commission tabled the case. The revisions to this case will be reviewed prior to the Planning and Zoning Commission meeting on June 26, 2018 by the ARB.

## RECOMMENDATIONS:

If the Planning \& Zoning Commission chooses to approve the applicant's request then staff would recommend the following conditions of approval:

1) All comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
2) Any construction or building necessary to complete this Site Plan request must conform to the requirements set forth by the UDC, Planned Development District 57 (PD-57), the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Project Plan Review History

Type of Review / Notes Contact Sent Due Received $\quad$ Elapsed Status $\quad$ Remarks

SP2018-014 Site Plan for Woodhill Dental: Please address the following comments (M= Mandatory Comments; I = Informational Comments)
I.1 This is a request by Wayne Mershawn of Mershawn Architects on behalf of Jeff Johnston of Woodhill Dental for the approval of a site plan for a medical office building on a 0.85 -acre parcel of land identified as Lot 12, Block 2, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 149 H . Wallace Lane.
I. 2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com. M. 3 For reference, include the case number (SP2018-014) in the lower right hand corner of all pages on future submittals.
M. 6 Site Plan. You will need to reserve an addition 10-feet for your landscape buffer adjacent to FM 3097 to allow for the future expansion of FM 3097.
M. 7 Site Plan. Please dimension all walls of the building.
M. 8 Site Plan. Please show distance from the property line to the building for each side.
M. 9 Site Plan. Please dimension a typical parking space.
M. 10 Site Plan. Please hatch firelane and provide paving material and depth
M. 11 Site Plan. Please provide paving material and thickness.
M. 12 Site Plan. Please show centerline of FM 3097, Wallace Road, and Alliance Drive.
M. 13 Site Plan. Please note that rear setback is 10-feet unless fire retardant wall.
M. 14 Site Plan. Please add note to dumpster that it has an opaque, self-latching gate
M. 15 Site Plan. Please note that the minimum size for dumpster enclosure is $10 \times 12$.
M. 16 Site Plan. Please indicate screening of pad mounted equipment
M. 17 Site Plan. What is the rectangle to the right of the building? Please label.
M. 18 Site Plan. Please hatch sidewalk.
M. 19 Site Plan. Please review the PD-57 standards, as this building does not seem to follow the theme of theothers.
M. 20 Site Plan. Please note, the setback along Wallace Road and Alliance Drive is 15 -feet. This lot has triple frontage. The front yard setback is 15 -feet for a

Commercial (C) District. The 25 -foot setback adjacent to FM 3097 is correct because you will need to reserve 10 -feet for future expansion.
M. 21 Site Plan. Please provide square footage of the site next to the acreage that is shown within the footprint of the building.
M. 22 Site Plan. Please provide site data table as shown on the submitted Landscape Plan.
M. 23 Site Plan. Please note that the required parking is 31 spaces.
M. 24 Landscape Plan. Please see PD-57 requirements for living screen adjacent to Wallace Lane.
M. 25 Landscape Plan. Please show and label easements.
M. 26 Landscape Plan. Please show centerline for all adjacent roadways
M. 27 Photometric Plan. Please darken property line on photometric plan.
M. 28 Photometric Plan. Please provide cut sheets.
M. 29 Photometric Plan. Please note that any light over 15-watts shall be directed downward with a partial or full cutoff
M. 30 Photometric Plan. Please provide site data table as shown on Landscape Plan.
M. 31 Photometric Plan. Please provide elevation of any light poles.
M. 32 Photometric Plan. Please show centerline of all adjacent roadways.
M. 33 Building Elevations. Please see PD-57 standards. This building does not appear to match the theme of the existing buildings.
M. 34 Building Elevations. Please provide material percentages per façade. Subtract windows and doors.
M. 35 Building Elevations. Please indicate the elevation that faces the street.
M. 36 Building Elevations. Please provide color elevations.
M. 37 Building Elevations. Please note that as proposed, this will need a variance for vertical and horizontal articulation. Please see the vertical and horizontal articulation requirements for Commercial (C) District.
M. 38 Building Elevations. If the building elevations are scalable, pleaseprovide scale.
I.39 The Architectural Review Board (ARB) meeting for this case will be held on May 29, 2018 at 5:00 p.m.
I. 40 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any
additional information that is requested. Revisions for this case will be due on June 5, 2018. The Planning and Zoning Worksession for this case will be May 29, 2018, at 6:00 p.m. The Planning and Zoning Meeting will be June 12, 2018. A representative is required to attend all meetings.
I.41If necessary the projected City Council meeting date for this case will be June 18, 2018.



City of Rockwall
Planning \& Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.


City of Rockwall
May 30, 2018
Planning Department

## LETTER OF VARIANCE

We respectfully request a variance for the Woodhill Dental Project (SP2018-014)

1. The 15 ' additional landscape buffer for the expansion of FM 3097 In order to align with the adjacent fire lane and parking with the three other buildings fronting FM 3097 and maintain a consistency.
2. Building articulation

Due to the fire lane being shifted back into our lot and the additional firelane along Wallace Road, the property has lost width and does not allow us to provide the articulation on the north and south walls. We have maintained the design intent as much as allowed with the space to work with.

|  |  | REQUIRED | PREVIDED |
| :---: | :---: | :---: | :---: |
| 1. | STREET TREES <br> 3 CANDPY QR 4 ACCENT PER 100’ | 17 | 17 |
| 2. | SITE TREES - aNE TREE W/ A CALIPER DF AT LEAST 2" FIR EACH 20,000 SF DF PARKING 1 PER EVERY TEN REQ. PARKING SPACES | 3 | 3 |
| 3. | LANDSCAPE BUFFER | $15^{\prime}$ | $15^{\prime}$ |
| 4. | SCREENING OF पFF STREET PARKING | YES | YES |
| 5. | tITAL LANDSCAPE AREA $20 \%$ REQUIRED | 7,414 SF | 16,674 SF |



BURR OAKS (10)
INSTALLED WITH A MIN. 4
CALIPER
CALIPER
LIVE OAKS (10)
INSTALLED WITH A MIN. 4 "
INSTALLED WITH A MIN. 40
CALIPER
RED BUD (5)
$4^{\prime}$ HIGH @ INSTALLATION


* INDIAN HAWTHORNE (29) OF 5-GALONS W/A MNMUM HEIGHT @ PLANTING OF $15 "$ " \& SHALL
CREATE A MIIUMM 2' TAL SCREN CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING
SHALL BE PLANTED @ 36 " O.C.
- boxwood bush (50)

PLANTS SHALL BE A MINIMUM
PLANTS SHALL BE A MINIMUM
OF 5-GALLONS W/A MINIMMM
HEIGT © PLANTING OF 15 " \& \& SHALL
CREATE A MINIMUM 2' CREAIE A MNMUM TALL SCREEN
WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL位
N ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE
USED OTHER TRES FROM THE APPROVE CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES
sation.
TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN
WITHN $4^{4}$ OF CURB AT PABKING SPACES AND WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER
THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.


[^3]


Project Plan Review History

(6/21/2018 10:52 AM AA)
Where a facility or building hereafter constructed within the jurisdiction is more than600 feet from a hydrant on a fire apparatus access road as measured by an approved route around the exterior of the facility or building on-site fire hydrants and mains shall be provided

Proposed new fire hydrants shall be indicated on the site plan
Size and location of the underground water line servicing the fire sprinkler system shall be indicated on the site plan
The proposed location of the Fire Department Connection(FDC) shall be indicated on the site plan. The FDC is required to be along the fire lane and within 100 -feet as the hose lays, of a fire hydrant.

An approved water supply capable of supplying the required fire flow for fire protection shall be provided A water flow test verifying capabilities shall be witnessed by the Fire Marshal Division prior to vertical construction

| GIS Lance Singleton | $6 / 14 / 2018$ | $6 / 21 / 2018$ | $6 / 21 / 2018$ | 7 | APPROVED | See Comments |
| :--- | :--- | :--- | :--- | :--- | :--- | :--- |
| (6/21/2018 9:12 AM LS)      <br> Address assignment will be:      <br> 1020 LA JOLLA POINTE DR. ROCKWALL, TX      <br> PLANNING David Gonzales $6 / 14 / 2018$ $6 / 21 / 2018$ $6 / 20 / 2018$ 6 |  |  |  |  |  |  |

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf of Clay Shipman for the approval of a site plan for an office building on a 1.28-acre parcel of land identified as Lot 3, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located on La Jolla Pointe drive northeast of the intersection La Jolla Pointe Drive and Laguna Drive and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday July 3, 2018. Please provide three large copies [24" X 36 " FOLDED] and one PDF version for a subsequent review by staff:

* Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.
3. Label revised site plan documents with "Case No. SP2018-016" at the lower right corner.
4. On all plans, delineate and label the contiuation of Carmel Circle to be located on southern property boundary.

## VARIANCE AND EXCEPTIONS FOR P\&Z AND CITY COUNCIL TO CONSIDER - SIMPLE MAJORITY VOTE:

The following variance and excetion requests are from Article V, Section 4, of the UDC:

1. Sec. 4.1.A.1: Approval of an exception to allow for not meeting the minimum $20 \%$ stone requirement for all facades by allowing stone in the following proportions north $6 \%$, east $1 \%$, west $1 \%$, and south $0 \%$.
2. Sec. 4.1.A.1: Approval of an exception to allow stucco to exceed the $50 \%$ maximum on a facade by allowing the south elevation to contain51\% stucco.
3. Sec. 4.1.A.1: Approval of an exception to allow stucco to be located within the first four(4) feet above grade for a facade that is visible from a street or public area
for the south, east and west elevations.
4. Sec.4.1.C.b: Approval of a variance to the verticle articulation standards to allow for not meeting the vertical articulation for the east elevation
** Please address the following Planning Comments for each plan submitted

## Site Plan:

1. Label and dimension (ROW width) for La Jolla Pointe Drive and Carmel Circle.
2. Verify parking count. Legend states 40 spaces provided, I count a total of 36 parking spaces.
3. Where are HVAC units located? See screening requirements and provide appropriate screening for all units
4. Relabel firelane as 24 -ft Firelane, Public Access \& Utility Easement as appropriate (i.e. if no utility within easeement, do not include Utility).
5. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque

## Landscape Plan:

1. Correct No. 1 of the Legend to indicate minimum number of Street Trees Required to equal1 tree per 50-linerar feet of Rights-of-Way, including the portion of Carmel Circle that is not shown on plan (i.e. minimum of 6 for La Jolla Pointe +3 for east portion of Carmel Circle +6 for south portion of Carmel Circle. Provided to equal minimum required of 15 trees.
2. Correct No. 5 of the Legend that indicates total landscaping required of $55,757 \mathrm{SF}$ to $8,363 \mathrm{SF}$ (i.e. $15 \%$ required). Also change the minimum required to $15 \%$ (not 20\%).
3. Why are the trees along Carmel Circle out of the landscape buffer? The minimum number (i.e. three [3])
should be within this buffer.
4. Provide label for 'Carmel Circle' .
5. Rip Rap retaining wall may require engineers design-- contact building inspections for pemit requirements.

## Treescape Plan:

1. Provide a spreadsheet listing each tree, type, caliper inch, and indicate whether the tree is being removed or saved Provide totals regarding mitigation credits, etc.

Photometric Plan:

1. The plan as submitted meets or exceeds the intent of the standards established by the UDC

Building Elevations:

1. Requries a recommendation fromthe Architectural Review Board(ARB) forwarded to the Planning and Zoning Commission for consideration
2. Provide a materials sample board for ARB review.
3. See variance and exceptions above.
*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request If you have any quesitons regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com

Scheduled Meeting Dates to Attend
Architectural Review Board: June 26, 2018 (5:00p.m.)[To provide recommendations to applicant] Planning - Work Session: June 26, 2018 (6:00p.m.) [Applicant to present/discuss project to P\&Z]

Architectural Review Board: July 10, 2018 (5:00p.m.) [To provide recommendations to applicant/P\&Z]
Planning - Action: July 10, 2018 (6:00p.m.) [P\&Z to take action(i.e. approve, approve with conditions, deny)]
City Council - Action: July 16, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]



City of Rockwall
June 8, 2018
Planning and Zoning Department

## LETTER OF VARIANCE

We respectfully request a variance for the articulation ordinance on the Shipman Office Building Project.

We are asking for this variance because our client is wanting to build an old style City Fire Station to look as similar as possible to the historical Hook and Ladder \#8 Firehouse in New York City. The vertical and horizontal articulation is not conducive to this design and would take away from the old style.

La Jolla Pointe Drive






INDIAN HAWTHORNE (8)
PLANTS SHAL OF 3 -GALLONS \& SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING
SHALL BE PLANTED @ 36 " O.C.

BOXWOOD BUSH (3) PLANTS SHALL BE A MINIMUM CREATE A MINIMUM 2' TALL SCREEN WTHIN TWO YEARS OF PLANTING.
SHALL BE PLANTED @ $36^{\prime \prime}$ O.C.

NOTE: 56 TREES PROUDED TOWARDS MITIGATION TOTALING $168^{\prime \prime}$ CALPER
$226^{\prime \prime}$ REMAININ.

ALL AREAS NOT SHOWN AS SPECFFIC PLANT MATERIAL
SHALL BE HYROMULCHED, BERMUOA.
 required landscape areas shall be irrigated by an AUOOMATLC NDDERGROUNDIRRIGALON SYSTEM
SYSTEM SHALL HAVE FREEZE GUARD AND RANSTAT.

CONTRACTOR SHALL SUPRLY SLEEVES
AS NEEDED FOR RRRIGATON.
TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN
WTHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER


La Jolla Pointe Drive


La Jolla Pointe Drive


La Jolla Pointe Drive


Project Plan Review History

|  |  |  |  |  | Applied | 6/15/2018 | LM |
| :---: | :---: | :---: | :---: | :---: | :---: | :---: | :---: |
| Project Number SP2018-017 | Owner | BRYAN | JDY GRA | DDA JEAN BRUNET | Approved |  |  |
| Project Name TRU Hotel | Applicant | FC CU | ORPORA |  | Closed |  |  |
| Type SITE PLAN |  |  |  |  | Expired |  |  |
| Subtype PD |  |  |  |  | Status |  |  |
| Status Staff Review |  |  |  |  |  |  |  |
| Site Address | City, State Zip |  |  |  |  |  |  |
| 2600 SUMMER LEE DR | ROCKWALL, TX 75032 |  |  |  | Zoning |  |  |
| Subdivision | Tract | Block | Lot No | Parcel No | General Pla |  |  |
| ECKERD ADDITION | 2A | NULL | 2A | 3160-0000-002A- |  |  |  |



| FIRE | Ariana Hargrove | $6 / 15 / 2018$ | $6 / 22 / 2018$ | $6 / 21 / 2018$ | 6 | COMMENTS |
| :--- | :--- | :--- | :--- | :--- | :--- | :--- |

Where a facility or building hereafter constructed within the jurisdiction is more than 600 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided. Fire Hydrant located along Summer Lee is not considered accessable to to topography, unless otherwise proven.

The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100 -feet as the hose lays, of a fire hydrant.

For buildings 30 -feet or more and/or 3 or more stories in height minimum interior turning radius of 30 feet is required on all fire lanes.

|  | Lance Singleton | $6 / 15 / 2018$ | $6 / 22 / 2018$ | $6 / 21 / 2018$ | 6 | APPROVED |  |
| :--- | :--- | :--- | :--- | :--- | :--- | :--- | :--- |
| PLANNING | Ryan Miller | $6 / 15 / 2018$ | $6 / 22 / 2018$ | $6 / 20 / 2018$ | 5 | APPROVED | See Comments |

Type of Review / Notes Contact $\quad$ Sent $\quad$ Due $\quad$ Received $\quad$ Elapsed Status

SP2018-017; Site Plan for Tru Hotel
Please address the following comments ( $\mathrm{M}=$ Mandatory Comments; $\mathrm{I}=$ Informational Comments)
I. 1 This is a request for the approval of a site plan for a hotel on a 2.12-acre tract of land identified as portions of Lot 2A, Isaac Brown Addition and Lot 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District and the Interior, Horizon/Summer Lee and Residential Subdistricts of Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.
1.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com. M. 3 For reference, include the case number (SP2018-017) in the lower right hand corner of all pages on future submittals.
M. 4 Treescape Plan. A treescape plan is required to be submitted showing what trees will be removed and how the removed trees will be mitigated.
I. 5 Building Layout. The building layout does not conform to the general guidelines contained in Resolution 10-40. Specifically, it does not:
(1) Have a visible building entry off of Summer Lee Drive
(2) Provide additional landscaping beyond that provided in the right-of-way adjacent to the entry (i.e. landscape pots/plants).
(3) Locate the refuse/service area in a niche or recess in the building's façade or in a parking court screened by the building (i.e. the refuse container is in a location that will be visible from public right-of-way).
I. 6 Architecture. The Architectural Guidelines contained in Resolution 10-40 stipulate that the architectural style must meet one (1) of three (3) architectural styles (i.e. Tuscan, Traditional, and Transitional). Based on the proposed elevations and the language in the ordinance, the hotel does not appear to conform to any of the architectural styles. Consider incorporating building materials (i.e. brick) and architectural elements (e.g. balconies, awnings/canopies, roof elements and variation, etc.) that would better meet the requirements of this ordinance. A modulated façade would also help to better bring this project into conformance with the guidelines.
I. 7 Architecture. The Architectural Guidelines contained in Resolution 10-40 identify this property as a potential landmark building opportunity which can use, "special forms, roof forms, materials, colors, accent lighting, and additional height allowances as approved by the Architectural Review Board. Tower elements on on to three story buildings may exceed the maximum building height of the subdistrict by 10 feet. Tower elements on four-story or taller buildings may exceed the maximum building height of the subdistrict by 20 feet." The proposed building does not utilize any of the land mark building opportunity guidelines.
M. 8 Building Materials. The subject property is located within the Scenic Overlay (SOV) District, which requires 20\% natural stone on all sides of the building. The proposed cultured stone will require an exception by the Planning and Zoning Commission pending a recommendation from the Architectural Review Board(ARB). As an alternative the material can be changed to meet the ordinance requirements.
I. 9 Building Materials. Dryvit is an acrylic product and does not meet the 3-part stucco requirements. The use of this material will require discretionary approval by the City Council pending a recommendation from the Architectural Review Board (ARB) and Planning and Zoning Commission.
M. 10 Building Elevations. Please indicate the percentage of each material (excluding windows and doors) on each elevation.
M. 11 Building Elevations. Please indicate the location and height of all proposed roof top units and demonstrate that they will not be visible from adjacent properties or public right-of-way.
M. 12 Building Elevations. The first floor of all buildings in this district are required to be built to a commercial standard of 15 -feet.
M. 13 Subdistrict Requirements. According to the Horizon/Summer Lee Subdistrict a maximum of 20\% (the Interior Subdistrict allows a maximum of ten [10] percent) of all parking must be surface parking. Currently, the plans show the property being $100 \%$ surface parked. This will require discretionary approval by the City Council.
M. 14 Master Tree Planting Plan. The Master Tree Planting Plan shows that all street trees adjacent to Summer Lee Drive and Glen Hill Way are required to be Cedar Elms. Please change the Landscape Plan to conform to this requirement. Any changes to this requirement requires discretionary approval from the City Council. M. 15 Streetscape Plan. Please provide a Streetscape Plan demonstrating conformance to the requirements of Planned Development District 32 (PD-32). This plan will include all right-of-way plantings, required parallel parking areas, street tree locations, required pedestrian elements, and location of all required street lights.
M. 16 Streetscape Plan. Summer Lee Drive is identified as a Street Type 'O' which, "consists of streetscape improvements and parallel parking dedication on both sides of an existing 29 -foot wide street ..." In lieu of the parallel parking look to incorporate additional plantings and pedestrian elements in the large right-of-way space in front of the building. This is also an opportunity to incorporate a pocket park in conformance with the Design Guidelines contained in Resolution 10-40. M. 17 Streetscape Plan. Glen Hill Way is identified as a Street Type ' $G$ ' which requires parallel parking spaces adjacent to an eight (8) foot sidewalk with street trees in five (5) foot $x$ ten (10) foot leave outs in the parallel parking areas spaced 30 -feet on center. The current plan does notmeet the required Streetscape Plan. Please make the necessary changes to the Street Type ' $G$ ' on the Site Plan, Landscape Plan and requested Streetscape Plan.
M. 18 Photometric Plan. The proposed parking lot light standard does not meet the requirements of Planned Development District 32 (PD-32).
M. 19 Photometric Plan. The Photometric Plan does not show the incorporation of any pedestrian scale streetlights in accordance with the streetscape elements required by Planned Development District 32 (PD-32). Please show these lighting standards on the requested Streetscape Plan and show the lighting standard in the Photometric Plans.
M. 20 According to Ordinance No. 17-22, the proposed project will require Waivers to the Design Standards for:
(1) Building Placement
(2) Landscape Standards
(3) Parking Requirements
I. 21 The Architectural Review Board (ARB) meeting for this case will be held on June 26, 2018.
I. 22 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 3, 2018; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 10, 2018 Planning \& Zoning Meeting. The Planning \& Zoning Work Session meeting will be held on June 26, 2018.
I. 23 The projected City Council meeting date for this case will be July 16, 2018.


## N.I.C.

| PARKING LOT PLAN SITE INFORMATION BLOCK | - SITE PLAN KEY NOTES |
| :---: | :---: |
|  | 边 |
| Pervious area .69 Acres $\qquad$ $\qquad$ | 2. $\triangle$ ceserer p paxis situ |
| Number of building stories (above grade) 4 <br> Type of construction (new structures or additions) Type 5A | Sols |
|  | PERPENDICULAR TO TRAFFIC FLOU. PERPENDICULAR TO MAIN FIELD. |
|  | 䢕 |
| Number of biegre stolls shomnSte 4 Bicyele |  |
| Number of Parking stalls: SHown |  |
| Standers Car 103 <br> Acosibile  |  |
| ${ }_{108}$ | Oum Sea 410 |
|  |  |
| Area Analysis: | 7. п.acter |
| Tiotal Ste |  |
|  | 20. |
|  | 22. SECURED GATE W/ KNOX BOX FOR FIRE DEPT ACCESS. |




(11) $\frac{\text { STOP SIGN }}{\text { scale Nis. }}$



(9) TYPICAL BOLLARD

(8) GATE POST DETAIL




(5) SOUTTELEVATION

(4) REFUSE ENCLOSURE-EAST ELEVATION


(3) REFUSE ENCLOSURE - WEST ELEVATION

(1) REFUSERECYCLING ENCLOSURE PLAN


A1.21

(6) ENLARGED POOL PLAN

(5) ENLARGED PATIO PLAN



(1) TYPICAL ELEVATION @ POOL FENCE
oroper





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FOURTH FLOOR PLAN



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[^4]$\triangle$ EXTERIOR ELEVATION KEY NOTES




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Project Plan Review History


## (6/21/2018 12:33 PM AA)

Approved, unobstructed fire department access (fire lanes) shall be provided such that all portions of the exterior of the building shall be within 150 -feet (as the hose lays) of a fire lane and/or other approved fire apparatus access roadway. The path of measurement shall be along a minimum of a ten feet ( $10^{\prime}$ ) wide unobstructed pathway. (Not shown on plans.)

Where a facility or building hereafter constructed within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided.

Existing fire hydrants to be considered for the use shall be indicated on the plans.
(Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. Existing fire hydrants on public streets are allowed to be considered as available where streets are not provided with median dividers which cannot be crossed by fire fighters pulling hose lines.)

An approved water supply capable of supplying the required fire flow for fire protection shall be provided. A water flow test verifying capabilities shall be witnessed by the Fire Marshal Division prior to vertical construction.

Building size (square feet) and height to be indicated on the plans.
Presence of automatic fire sprinkler system shall be indicated on the plans. (Fire sprinkler protection required for all buildings exceeding 5,000ft2, A2 Occupancies with an occupant load over 99, occupancy used for the manufacture and/or storage of upholstered furniture or mattresses exceeds $2,500 \mathrm{ft} 2$, and for all R, I \& H Occupancies regardless of size. Note: Information only, additional requirements may apply)

| GIS Department | Lance Singleton | $6 / 19 / 2018$ | $6 / 21 / 2018$ | $6 / 21 / 2018$ | 2 | APPROVED |  |
| :--- | :--- | :--- | :--- | :--- | :--- | :--- | :--- |
| Planning Department | Ryan Miller | $6 / 19 / 2018$ | $6 / 19 / 2018$ | $6 / 19 / 2018$ | APPROVED | See Comments |  |

SP2018-018; Site Plan for 125 National Drive
Please address the following comments ( $\mathrm{M}=$ Mandatory Comments; $\mathrm{I}=$ Informational Comments)
I. 1 This is a request for the approval of a site plan for an industrial building on a 1.50-acre tract of land identified as Tract 2-16 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, and addressed as 125 National Drive.
I. 2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.
M. 3 For reference, include the case number (SP2018-018) in the lower right hand corner of all pages on future submittals.
I. 4 Site Plan. According to Section 2.3, Expansion of an Existing Use, of Article VI, Parking and Loading Standards, of the Unified development Code (UDC), "(i)f any building, improvement, or use of land is expanded, the provisions for parking and loading shall be provided for the portion of land use and/or building that has been added."
M. 5 Site Plan. Please indicate that the additional parking will be concrete and show line stripping for five (5) additional parking spaces.
M. 6 Landscape Plan. Per the requirements of the landscaping ordinance please provide one (1), three (3) inch caliper tree per 100-linear feet of street frontage. A total of three (3) trees will be required. Please indicate this on the site plan.
M. 7 Building Elevations. Please provide a picture of the existing metal building on the site.
M. 8 Building Elevations. The proposed building elevations do not meet the minimum masonry requirements. This will require an exception from the City Council. M. 9 Building Elevations. The proposed building elevations do not meet the minimum horizontal and vertical articulation requirements. This will require a variance from the City Council.
I. 10 The Architectural Review Board (ARB) meeting for this case will be heldon June 26, 2018.
I. 11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 3, 2018; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 10, 2018 Planning \& Zoning Meeting. The Planning \& Zoning Work Session meeting will be held on June 26, 2018.
I.12 The projected City Council meeting date for this case will be July 16, 2018.


City of Rockwall
Planning \& Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

## 125 National Dr Rockwall

New metal building for warehouse business will be built to match the other existing buildings located on National Drive. We will have 2 trees planted in the front. Concrete parking per plan. No exterior lighting.

David Osborn
214-546-4826



COLUMN LINE 5


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SECTION DETALL - A


SECTON DETAL - 0 (SIDE VEW)


SECTION DEEAL - D (TOP VEW)

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SECTION DEEAAL-E

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[^0]:    I, Laura Morales, Planning \& Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $27^{\text {th }}$ day of July, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

[^1]:    This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

[^2]:    This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

    I, Laura Morales, Planning \& Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the $21^{\text {st }}$ day of November, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

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[^4]:    (2) $\frac{\text { WEST ELEVATION }}{18^{\prime}=1-\nabla^{\prime}}$

[^5]:    

